



**AGENDA FOR THE TOWN OF BEAVERLODGE COUNCIL MEETING
 MONDAY JUNE 8, 2026 AT 6:00 PM, COUNCIL CHAMBERS #400-10 STREET BEAVERLODGE**

Microsoft Teams Meeting ID: 272 751 888 455 81 Passcode: rh2f6Qj3

1.0	<u>CALL TO ORDER:</u> <i>Town of Beaverlodge's Legislative Meetings are being live streamed effective June 12, 2023, via Council resolution #145-2023-05-23.</i>	
2.0	<u>LAND ACKNOWLEDGEMENT:</u>	PP 2
3.0	<u>ADOPTION OF AGENDA:</u>	
4.0	<u>ADOPTION OF MINUTES:</u> 4.1 May 25, 2026 - Regular Council Meeting Minutes	PP 3-5
5.0	<u>DELEGATIONS:</u>	
6.0	<u>OLD BUSINESS:</u> 6.1 Community Center Roof Assessment Report	PP 6-31
7.0	<u>NEW BUSINESS:</u> 7.1 CAO Holiday Schedule 7.2 Parks & Recreation Appreciation Lunch – June 19th 7.3 Grande Prairie Regional Tourism Association AGM June 24, 2026	PP 32
8.0	<u>CORRESPONDENCE:</u>	
9.0	<u>COMMITTEE AND STAFF REPORTS:</u> 9.1 Action List 9.2 Council Reports	PP 33
10.0	<u>CLOSED SESSION:</u>	



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As long as the sun shines, grass grows and the rivers flow – we acknowledge the homeland of the many diverse First Nation & Métis people whose ancestors have walked this land.

We are grateful to live, learn and work on the traditional territory of Treaty 8 and we make this acknowledgement as an act of reconciliation and gratitude.



REGULAR COUNCIL MEETING MINUTES

MONDAY MAY 25, 2026 @ 6:00 PM

COUNCIL CHAMBERS #400 – 10 ST. BEAVERLODGE, ALBERTA

COUNCIL	Mayor Gary Rycroft Councillor Trevor Bartsch Councillor Jen Wolan Councillor Richard Lappenbush	Deputy Mayor Judy Kokotilo-Bekkerus Councillor Hugh Graw Councillor Tyke Longmore
STAFF	Jeff Johnston, CAO	Tina Letendre, Deputy CAO - absent Nichole Young, Legislative Services

1.0 CALL TO ORDER: Mayor Gary Rycroft called the meeting to order. **6:00 PM**

2.0 LAND ACKNOWLEDGMENT:

As long as the sun shines, grass grows and the rivers flow – we acknowledge the homeland of the many diverse First Nation and Métis people whose ancestors have walked this land. We are grateful to live, learn and work on the traditional territory of Treaty 8 and we make this acknowledgement as an act of reconciliation and gratitude.

3.0 ADOPTION OF AGENDA:

#134-2026-05-25 Councillor Hugh Graw
CARRIED: That Council adopts the agenda with the addition of the following items; Delegation 5.1 Beaverlodge & District Chamber of Commerce – Callie Balderston, Tracy Brekkaas and Brit White as well as New Business 7.3 Community Center Roof.

4.0 ADOPTION OF MINUTES:

4.1 May 11, 2026 – Regular Council Meeting Minutes

#135-2026-05-25 Councillor Jen Wolan
CARRIED: That Council adopts the Minutes of the May 11, 2026 Council meeting.

5.0 DELEGATIONS:

Mayor Rycroft called a short recess **6:02 PM**

Mayor Rycroft reconvened the meeting **6:03 PM**



5.1 Beaverlodge & District Chamber of Commerce – Callie Balderston, Tracy Brekkaas & Brit White

#136-2026-05-25 Councillor Hugh Graw
CARRIED: That Council accepts this presentation for information.

6.0 OLD BUSINESS:

6.1 Beaverlodge & District Chamber of Commerce Request – tabled from May 11, 2026

#137-2026-05-25 Councillor Jen Wolan
CARRIED: That Council approves the sponsorship request of \$5000 to the Beaverlodge & District Chamber of Commerce for their 2026 event budget.

7.0 NEW BUSINESS:

7.1 Grande Spirit Foundation Invitations &/or Support Requests:

- a. Golf Event May 29, 2026 – EVENT CANCELLED
- b. Harvest Dinner October 3, 2026

#138-2026-05-25 Councillor Hugh Graw
CARRIED: That Council approves a \$200 donation towards an auction item for this event, to be arranged by Deputy Mayor Judy Kokotilo-Bekkerus.

7.2 Old Hospital Building

#139-2026-05-25 Councillor Jen Wolan
CARRIED: That Council directs Administration to not pursue this any further.

7.3 Community Center Roof

#140-2026-05-25 Councillor Richard Lappenbush
CARRIED: That Council accepts this for information.

8.0 CORRESPONDENCE:

8.1 District of Tumbler Ridge – Message of Condolence Appreciation



#141-2026-05-25 Deputy Mayor Judy Kokotilo-Bekkerus
CARRIED: That Council accepts this for information.

9.0 COMMITTEE & STAFF REPORTS:

9.1 Action List

#142-2026-05-25 Councillor Hugh Graw
CARRIED: That Council accepts the Action Item List with the removal of the completed items as discussed.

9.2 Staff Reports

#143-2026-05-25 Mayor Gary Rycroft
CARRIED: That Council accepts the Staff Reports for information.

10.0 CLOSED SESSION:

11.0 ADJOURNMENT: Mayor Gary Rycroft adjourned the meeting. **6:59 PM**

Mayor Gary Rycroft

Tina Letendre, Deputy CAO

ROOF ASSESSMENT SURVEY REPORT
BEAVERLODGE POOL
91016 – 4TH AVE, BEAVERLODGE, AB



Topside Consulting (2004) Ltd

**#102, 10712 – 100 St.
Grande Prairie, AB**

May 2026

ROOF ASSESSMENT SURVEY REPORT – BEAVERLODGE POOL

Topside Consulting (2004) Ltd. has been retained to provide a Roof Assessment Report to ascertain the condition of the various roof systems on the five different areas, and give the owner a timeline for, and understanding of, the need for repairs and replacement. The building was inspected on May 4th, 2026.

EXISTING CONDITIONS SUMMARY

There are three different roof systems on the five separate roof areas. (see roof plan drawing) The following photo report clearly indicates the divisions with the two metal roof areas taking very little space on the first few pages; the two roof areas employing two-ply SBS insulated roof systems following with over 12 pages of photos and descriptions; and finally the shingle roof area with a half dozen pages of our findings. The roof conditions mentioned in the descriptions below are based on the following six point scale of conditions: Excellent, Very Good, Good, Fair, Poor and Very Poor. It would be advised that the reader go through the photo reports at this juncture to better understand the following summary and recommendations.

The main pool roof (R1), and the smaller lower brown metal roof beside the main entrance (R4) are the only two metal roof areas we included in the survey. The metal on these are of two different systems; with R1 being a standing seam metal having no exposed fasteners; and R4 being an exposed fastener with a low rib profile. Both roofs are in Very Good condition with no real notes on repairs to mention other than maintain as they have been.

The two SBS roof areas (R2 & R3) share the exact same roof system and are both in Fair condition, with the one zone described on pages 11 & 12 in the Poor category. There are numerous signs and symptoms, that indicate to those that can read them, the age and general condition of the roofs. These two roof areas are in the 20+ age where some attention must be given to maintenance of details, and budgets for replacement should be coming into focus. There are but a few small zones where drainage is a minor issue with none of these spots a real problem. The evidence of “mechanical damage”, which is the wear and tear of boots on the roof and the possibility of damage from materials and debris on the roof, is more notable than ponding.

The shingle roof looks good on the surface as the first couple of photo pages show. A quick appraisal at this level would put this roof at Good or maybe Very Good. When we looked a little closer as shown on the following photo pages, we discovered some problems that drastically changed the initial rating to a Very Poor. No one in the building seemed to know the actual age of the roof or the building, but in looking at the condition of the shingles and what they are installed over, we would approximate the age at 5 to 10 years old. The shingles are nailed to plywood which is over a rigid insulation system that has no venting under the plywood roof deck. The rigid insulation has 2x lumber strapping imbedded between sheets of insulation which is what the plywood is fastened to. You cannot even get a shingle manufacturer’s cheapest warranty with nailing shingles over an unventilated plywood roof deck. The photos on page 5 and 6 show the condition of things under the shingles. I find it difficult to believe that the last roofers installing the shingles did not notice any problem with the roof when they took the old shingles off.

ANALYSIS & RECOMMENDATIONS

The two metal roof areas need nothing more than maintenance for the foreseeable future. They appear to be working as designed with no real problems evident.

The flat roof areas with SBS roofing could use a few repairs at this time with roof replacement likely in about five years if the repairs are executed this summer. The repairs would include:

1. Removing every plumbing stack cap, filling the gap between pipe and stack with closed cell spray foam, and reinstalling the cap.

BEAVERLODGE POOL – 1016 4TH AVE., BEAVERLODGE, ALBERTA

2. Install a large cap sheet patch as outlined over the area on R2 east of the large ducts by: cutting out and removing the blistered cap sheet first, fitting base sheet pieces to fill in the missing spots, and then properly covering the whole area with 250 cap.
3. Installing walkway cap sheet in the area in front of the access door and the kick face of the door sill.

The other deficiencies can wait, as most cannot be properly dealt with until the roof replacement is done several years from now. The budget for repairs should be less than \$5000 plus GST. The budget for the removal and replacement of the roof membrane only, leaving the existing insulation in place, will be \$225,000.00 plus GST at current rates.

The only recommendation for the shingle roof is replacement. It is the only way that the current system can be remediated to work as it should. The shingles should be removed, the rotten plywood and above deck framing replaced as required, then a ventilation layer added with vertical strapping and new plywood with new shingles. The details on the hips, valleys, eaves, and peaks, not to mention the curbs and penetrations, all need to accommodate this design for proper function of the new roof. Just getting quotes from interested contractors to install a new roof may well see a repeat of the existing scenario. There needs to be a set of specifications and drawings that clearly lay out the installation on all details. The budget for this work, not including the plywood, insulation, and framing replacements that will be needed, would be in the range of \$150,000.00. We will quote you the writing of specs and drawings for this work at \$5500.00 plus GST. This work should be done this year to avoid any further damage to the structure below.

We would be please to discuss this report with you to answer any questions and clarify our findings.

Topside Consulting (2004) Ltd.

Mel Hoffart RRO

Beaverlodge Pool & Community Centre - SBS & Metal

1

An aerial view of the flat SBS membrane roof areas and the large metal roof over the pool itself. Note the large size and number of units on the upper level flat roof.

Item

.1



Action

Refer

The metal roof eaves have a snow stop about one foot up from the eaves which appears to be working well. R1
This is a standing seam roof with 1.5" high ribs - 16" oc.



Item

.2

Action

Refer

This feature is mounted along the entire eaves length.



Item

.3

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

The B-vent stack off one of the units on the lower roof has a wind brace mounted to the high end of the sloped metal roof. There is staining of the glavalume but no deterioration



2

Item

.4

Action

Refer

The top edge of the slope has a proper cap flashing over the panel ends - well fastened.



Item

.5

Action

Refer

Looking down the peak of the roof the flashing is straight, and a screw on every rib.



Item

.6

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

3

Where the lower flat roof joins the shingle roof, there is a metal roof adjoining the eaves of the shingle roof. R4



Item

.7

Action

Refer

This is an exposed fastener roof with ribs about 8" oc. . The roof has no penetrations, and does not appear to have any issues.



Item

.8

Action

Refer

The small entrance canopy roof drains on this metal roof with a small 2" pipe scupper. R3a



Item

.9

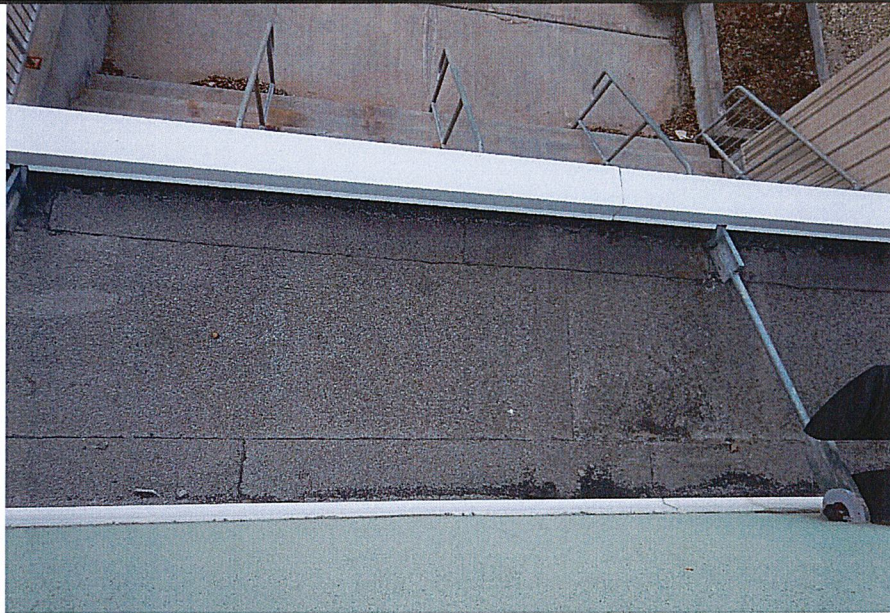
Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

4

Another look at this canopy shows that there has been a fair bit of water ponding on this small area, but the roof membrane is still OK.



Item

.10

Action

Refer

R3-We performed 3 separate cut tests on this roof, all having the same system.



Item

.11

Action

Refer

The system as shown here is:

- Steel roof deck
- 1/2" dyrwall
- 2-ply tar & felt vapour barrier
- aprox. 3" to 6" sloped EPS
- 1" fibreboard
- 2- ply SBS torch-on



Item

.12

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

5

From the southeast corner of the roof - an overview , noting the bit of ponding right in front of the camera.



Item

.13

Action

Refer

There are a few locations where the membrane is pulled at an angle in the corners with the wrinkles beginning to show.



Item

.14

Action

Refer

There is evidence of wear around the units, with granule loss in certain spots.



Item

.15

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

The cap flashing is installed with adequate screws on the inside. The scupper drains appear to be well sealed to the scupper flanges.



6

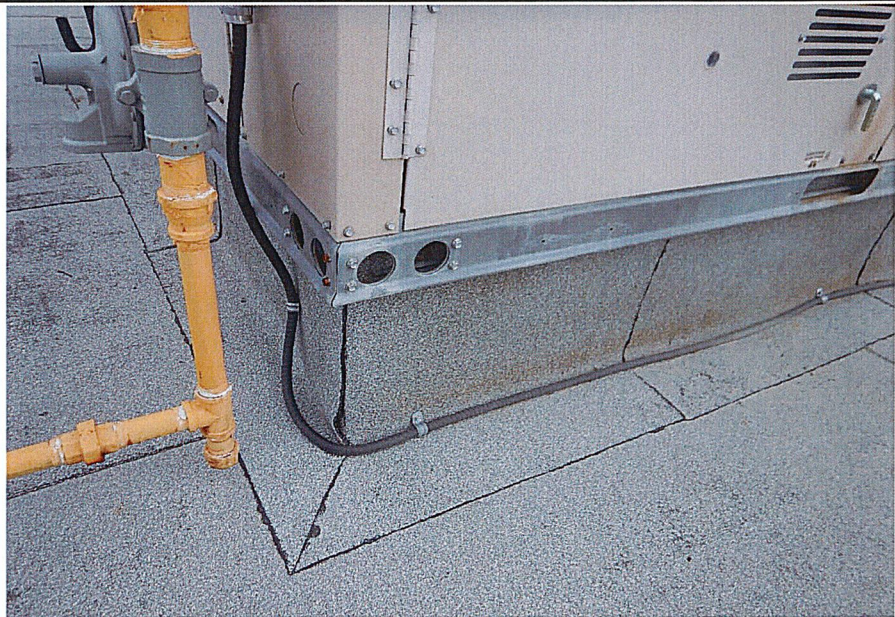
Item

.16

Action

Refer

There is one corner of a unit that needs a bit of patching to alleviate the birds mouth that comes with time and settling.



Item

.17

Action

Refer

Looking towards the access door we see more granule loss and a cable mini-curb that is properly built and sealed, but might need some maintenance



Item

.18

Action

Refer

The large and thick concrete pads that the stair posts are anchored on are sitting on top of the insulation of the roof system, as evident in the notable drop in roof line near the pad, and the membrane runs through under the pad. This kind of construction does not meet any code I am aware of, especially when the EPS insulation does not even meet 10 lbs/sq in compressive strength.



Item

.19

Action

Refer

The access door is raised high enough above the roof line, but the membrane directly below and all around is definitely well worn from the boot traffic



Item

.20

Action

Refer

This worn off granule area extends for a ways out from the door onto the field of the roof.



Item

.21

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

8

A close look at the roof that catches the reflective heat off the west facing wall and we see the start of "alligatoring" This is when the added heat and time have seen the VOC content drop and the asphalt is now starting to dry out and "alligator". This is not yet severe, more time will see this start to threaten the integrity of the cap sheet.



Item

.22

Action

Refer

This south arm of the lower roof has more alligator patches all the way down. There are four drains with the sloped EPS getting the water to them.



Item

.23

Action

Refer

Looking west on the south side of the main lower roof.



Item

.24

Action

Refer

Right beside the camera is a minor angled wrinkle in the parapet wall membrane flashing



Item

.25

Action

Refer

The top of the heavy stairs has another concrete pad that has compressed the roof system under it as the water leaves deposits along side the pad.



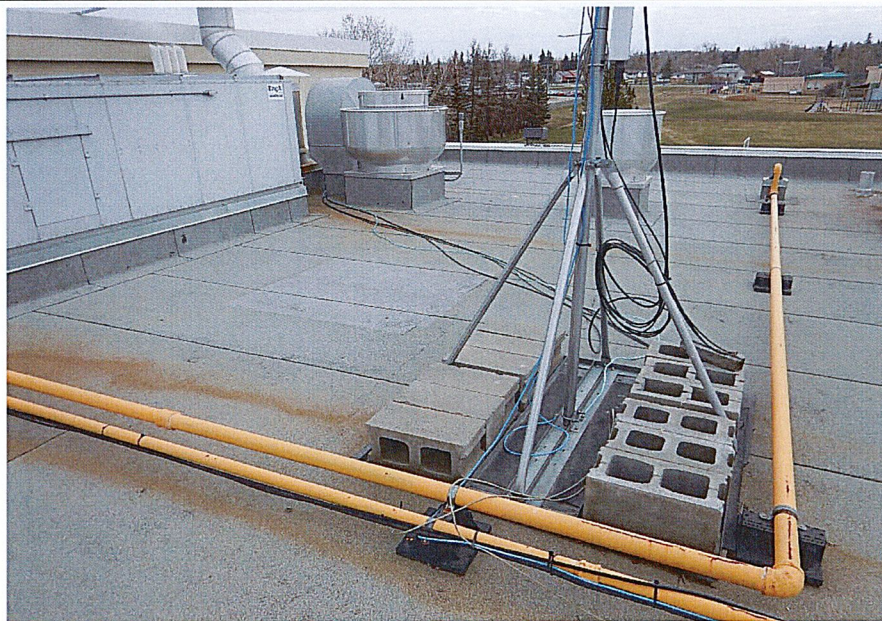
Item

.26

Action

Refer

An over view of the north end of the upper SBS level over the gym. R2



Item

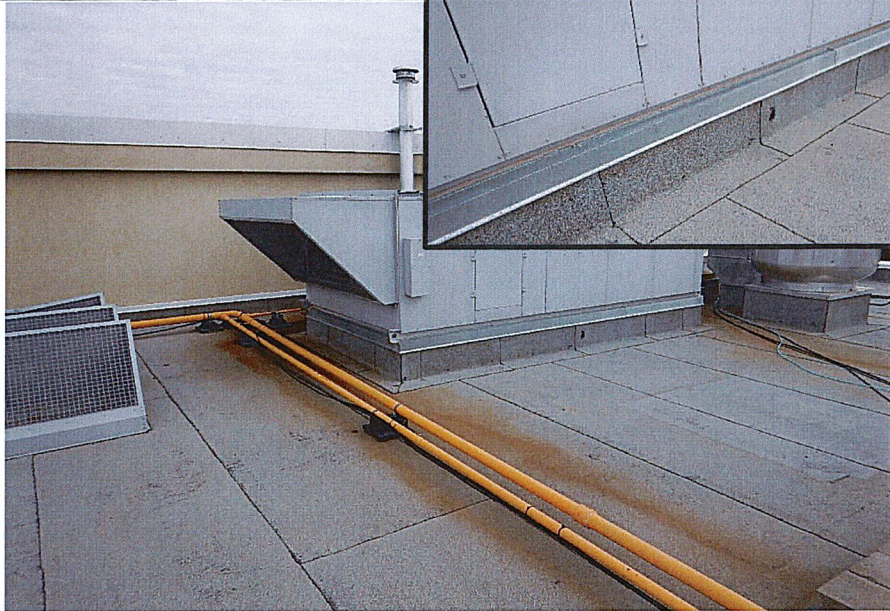
.27

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

Looking toward the NW corner of the upper level flat roof, this large unit appears to be well sealed "after the fact" with counter flashing and caulking.



10

Item

.28

Action

Refer

The practice of electricians drilling a hole in the side wall of a curb and punching a cord through with only a bit 'o gum to seal it is well known to have long term problems.



Item

.29

Action

Refer

The "safety anchors" on this roof are actually on the wall. There appears to be a lot of water trapped between the wall and the units on this roof as evident in the collection of dirt and debris.



Item

.30

Action

Refer

On the west side of the large ductwork off the huge unit, we see numerous ridges and blisters in the area. This one area we plan to do a cut test to find out what is in the roof system.



Item

.31

Action

Refer

One birdsmouth opening at a buckle line has an opening that is well past the lap seal, and thus onto the base sheet. This type of opening has a risk of becoming an actual leak into the roof system.



Item

.31

Action

Refer

There are several of these blisters/ridges that are found in this area.



Item

.33

Action

Refer

Another cut test in this area shows that the fibreboard at present is dry, but it has definitely been wet at one time.



Item

.34

Action

Refer

The ease of cutting through it, the fall apart into thin wafers, and the amount of "dust" it has to it, are all indicators of past moisture damage.



Item

.35

Action

Refer

There is some minor ponding near the scupper drains on this roof area, that can be easily addressed when the roof is updated.



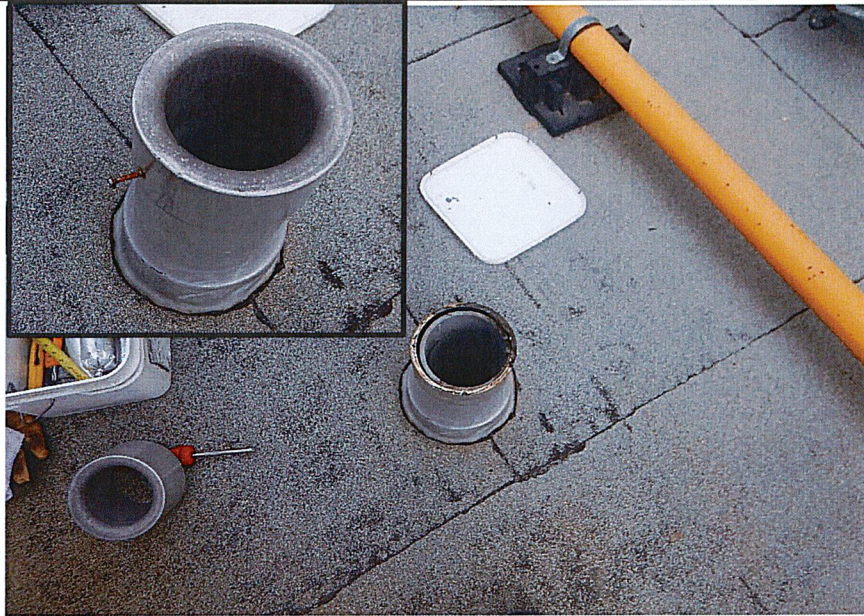
Item

.36

Action

Refer

The leaks that were mentioned coming from the plumbing vents inside, are actually condensation collecting in cold weather in the space between PVC pipe and aluminum stack. This needs to have spray foam inserted in the gap to prevent it from occurring again. There are several of these stack that need attention. Note the rusty screw that came out of the cap - a sure indicator of prolonged moisture in the gap



Item

.37

Action

Refer

More granular wear, and a lot of "stuff" on the roof. Not the best place to store it.



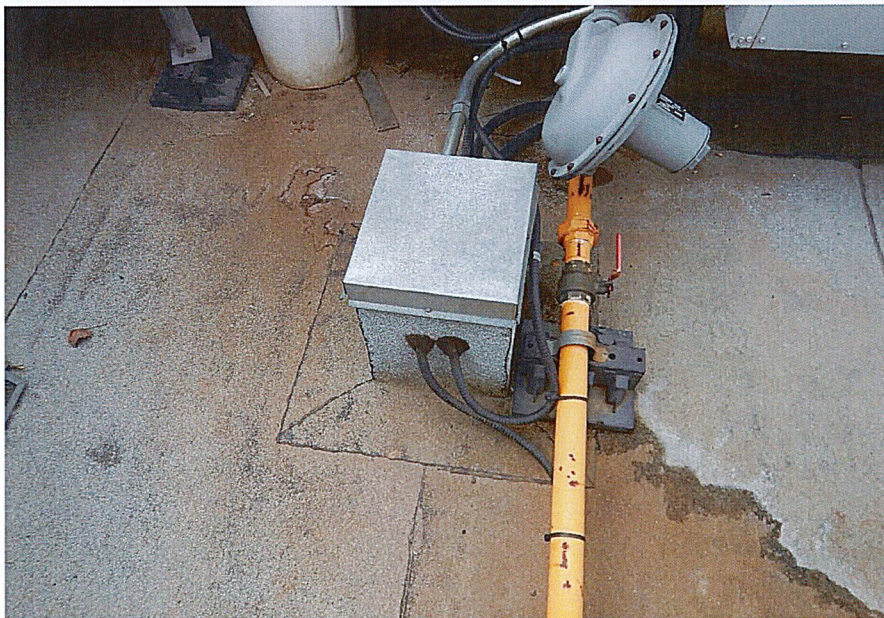
Item

.38

Action

Refer

These cables are sealed with mastic, but a hood over the exit side would keep the UV rays off the mastic and the direct rain off the seals.



Item

.39

Action

Refer

More evidence of water trapped behind the units. The cables exiting out of a gooseneck pipe is a better way to keep their exit sealed.



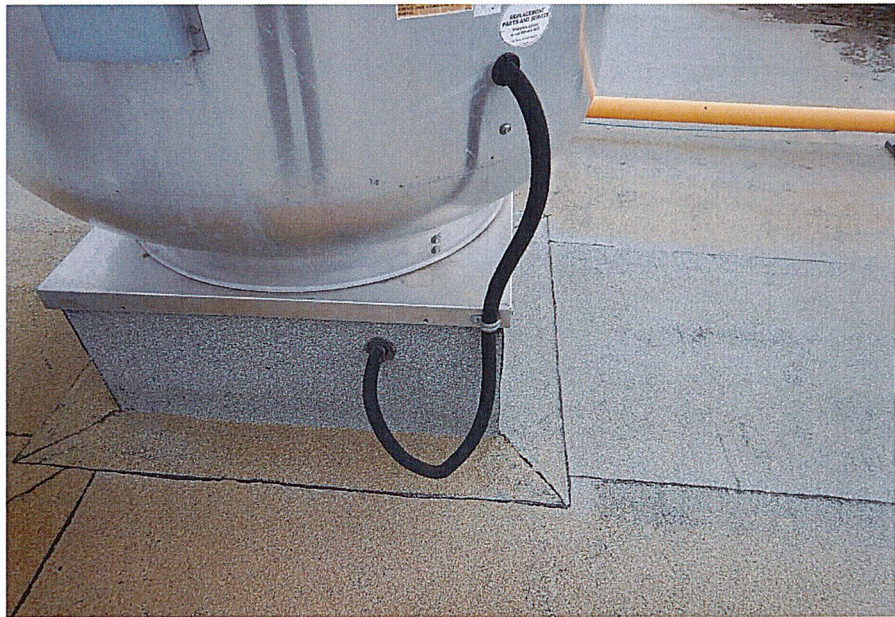
Item

.40

Action

Refer

The best thing these cables do is they drop down into a loop as they exit the curb, getting the rain to drip off the cable on the roof and not in the curb



Item

.41

Action

Refer

Another method of sealing the cable entrance into the curb.



Item

.42

Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

15

This small roof on the SE corner of the upper level roof has only a poorly designed scupper drain onto the bigger roof as a drain.



Item

.43

Action

Refer

One can see by the amount dirt and granule loss that this small roof is not well drained.



Item

.44

Action

Refer

The dirt and granule collection is deeper around the scupper drain.



Item

.45

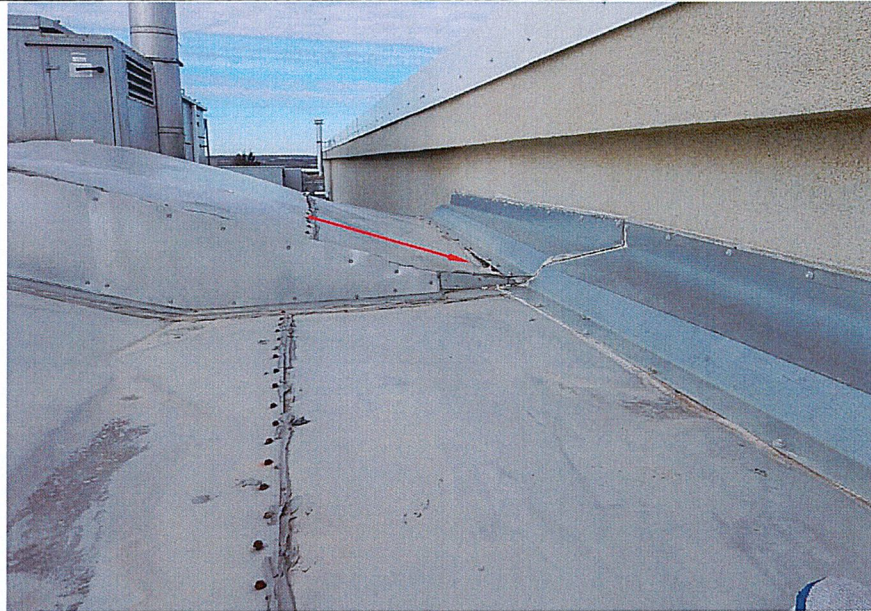
Action

Refer

Beaverlodge Pool & Community Centre - SBS & Metal

16

This is not part of the roof, but where the large duct enters the wall of the actual pool and the flashing and caulking are used as a weather seal along the wall there is an entry point, as the arrow whows, with the metal sloped down to it. The travel path this water will take we do not know, but it will always be moving downward.



Item

.46

Action

Refer

An overview of the lower roof from the higher roof level.



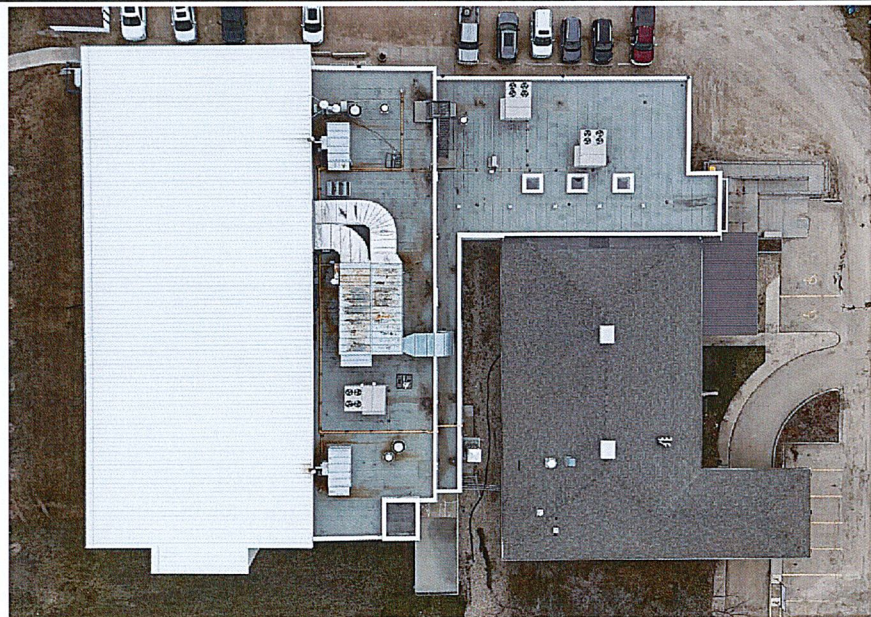
Item

.47

Action

Refer

A directly above aerial photo shows the roof plan in better color than the drawing attached.



Item

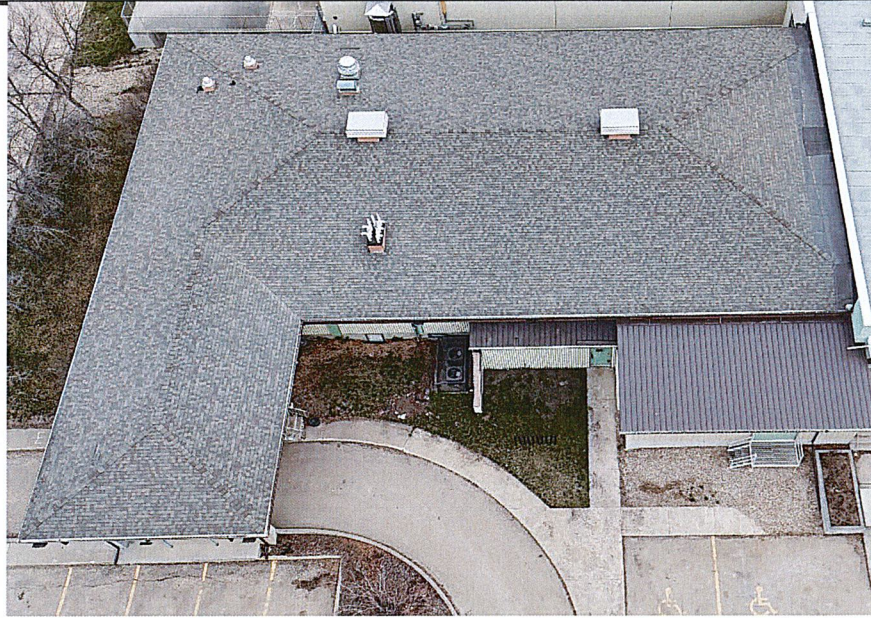
.48

Action

Refer

Beaverlodge Pool & Community Centre - Shingle

An aerial view of the shingle roof. From up here the condition of the roof looks pretty good.



1

Item

.1

Action

Refer

From the adjoining flat roof we notice a couple of spots where there are some shingles blown off



Item

.2

Action

Refer

From the north end of the roof a long look down the west half shows the lay of the shingles is smooth and the rows are quite straight.



Item

.3

Action

Refer

Beaverlodge Pool & Community Centre - Shingle

2

A look down the other half looks much the same, but one must be careful of general appearances.



Item

.4

Action

Refer

The tie-in to the flat roof area of the building is down with SBS torch-on membrane across the adjoining cricket/valley. The lay of the roof and laps all appear to be quite sound.



Item

.5

Action

Refer

Looking the other way shows the same quality of installation



Item

.6

Action

Refer

Beaverlodge Pool & Community Centre - Shingle

3

The west and east end of the tie-in torch-on drain to custom modified scupper drain that drops into an eavestrough. This all looks good and drains well.



Item

.7

Action

Refer

On the south side there is a bit of wind damage that has removed shingles down to the underlay in one section. We noticed here that the nails in the tore shingle pieces are quite rusty.



Item

.8

Action

Refer

Another spot where the wind removed a few shingles right at the eaves line.



Item

.9

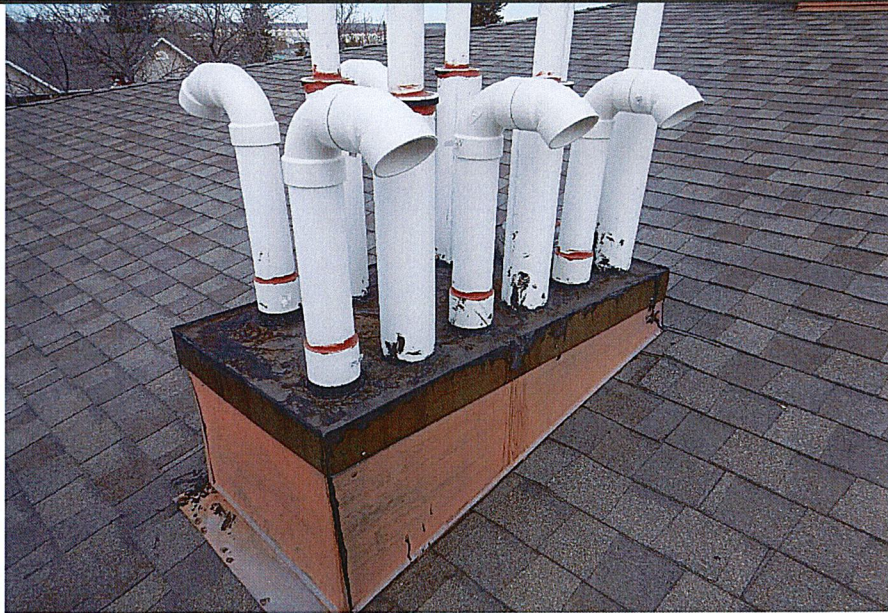
Action

Refer

Beaverlodge Pool & Community Centre - Shingle

4

This multi-pipe curb is sealed with a low end black mastic, which is seen some time and this is no longer sealing the pipes adequately.



Item

.10

Action

Refer

The wind damage shingles were repaired by us enough to cover the worst of the gap.



Item

.11

Action

Refer

Upon closer examination around the curb we noticed a couple of "dips" in the roof that appear to be roughly 4' a part. Walking on this zone was spongy but not collapse.



Item

.12

Action

Refer

Closer to the anomalies it is even more apparent the depth of swale just below the curb.



Item

.13

Action

Refer

We opened up this area. That black area down there - that's black rot, far enough gone that we can scoop it out with our bare hands.

The shingles were very easy to lift off - too easy, since the nails were being held by.... nothing.



Item

.14

Action

Refer

We dig upward a little bit and we find styrofoam insulation. Reveals that this is a roof system that uses styrofoam on the main roof deck and has plywood directly over this.



Item

.15

Action

Refer

Beaverlodge Pool & Community Centre - Shingle

6

We dug down and found some actual wood framing that is still intact. We measured the rot down to the wood and found 3" thick of rot and rigid insulation to solid wood. No signs of ventilation under the top layer of plywood.



Item
.16

Action

Refer

Look closely at just how rusted the nails are, we found a couple that were rusted off with 1/4" stubs below the head.

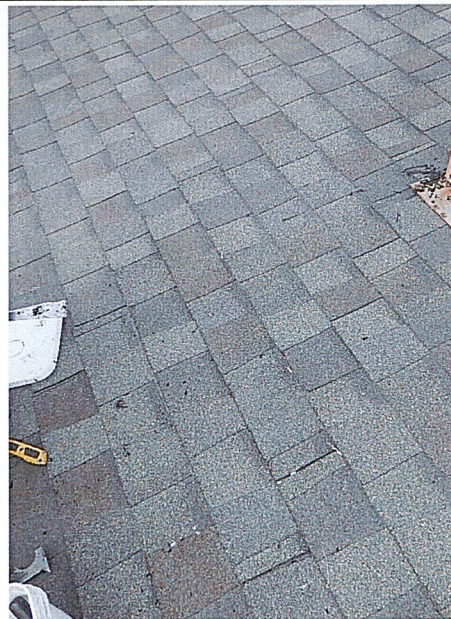


Item
.17

Action

Refer











We used a high power adhesive/caulking to put the shingles back down so they wont blow off and should still shed water.

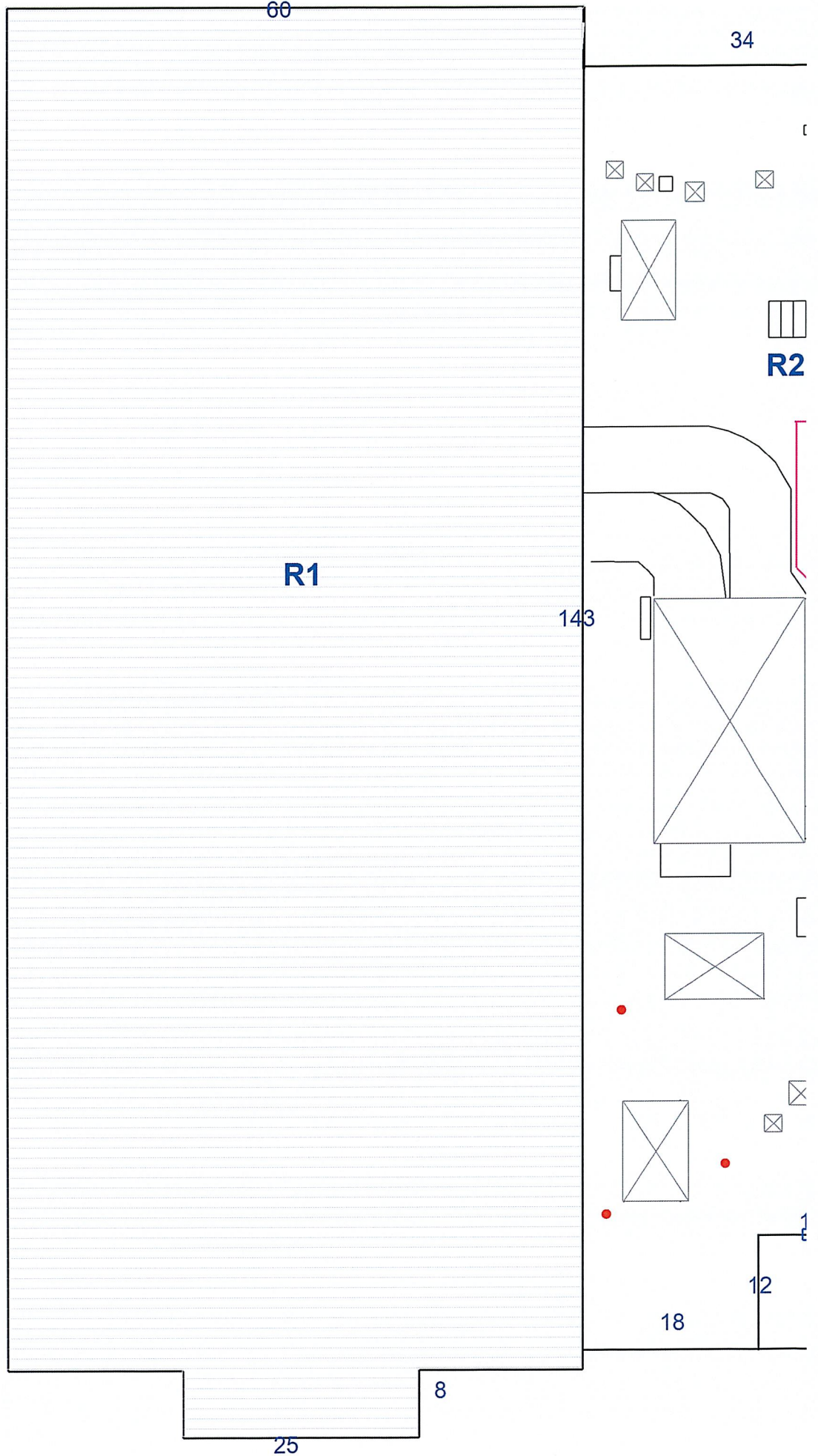


Item
.18

Action

Refer

Legend	
	- Unit on patio blocks
	- Roof curb
	- Roof Drain
	- Scupper
	- Plumbing Vent
	- Anchor post
	- Chimney stack
	- minicurb
	- concrete pads
	- Skylight
Submitted by:	Drawing
Mel Hoffart	Roof Plan
Scale	Date
Not to Scale	May 2026



Nichole Young

Subject: You're Invited: GPRTA AGM and Northern Sky Corridor Workshop on June 24

From: Communications <communications@gptourism.ca>

Sent: June 4, 2026 1:34 PM

Cc: Jasmin Greavett <director@gptourism.ca>

Subject: You're Invited: GPRTA AGM and Northern Sky Corridor Workshop on June 24

GPRTA Annual General Meeting

Notice is hereby given that the Grande Prairie Regional Tourism Association (GPRTA) Annual General Meeting of the Membership will be held on **Wednesday, June 24, 2026, from 12:00pm to 1:00pm at the Sandman Hotel** (9805 100 Street, Grande Prairie, AB). Please note that this meeting is open to GPRTA members only.

- Register for in-person attendance through Eventbrite: <https://www.eventbrite.com/e/1990896562211?aff=oddtcreator>. **Registration closes June 17, 2026.**

To attend virtually, please contact communications@gptourism.ca.

Optional Add-on: Northern Sky Corridor Workshop

Following the AGM, Explore Edmonton and GPRTA are hosting a Northern Sky Corridor Workshop. The workshop will take place from **1:30pm to 3:30pm at the Sandman Hotel**. Participants will hear a high-level overview of the corridor strategy, learn about emerging opportunities, and contribute their perspectives through facilitated discussion and networking. This session is open to all so, feel free to invite a colleague, industry partner, or friend who may be interested in learning more about the project.

- Register for in-person attendance through Eventbrite: <https://www.eventbrite.com/e/1990896868126?aff=oddtcreator> . **Registration closes June 22, 2026.**

If you have any questions, please don't hesitate to contact us.
Thank you continued support,

Janelle Friend

Communications and Media Relations
Officer



Item Number	Subject	Requested On	People Responsible	Item Notes	Status	Target Date of Completion
1	Host Library Board	12-Jan-26	CAO/Admin	Organize a meal for Council to host the Library Board. Invitation has been sent and looking at dates in May or June.	In progress	
2	Fixed Income Tax Rebate	27-Apr-26	CAO/Admin	Investigate and research alternative frameworks that may exist for a Property Tax Rebate Program for fixed income residents.	In progress	1-Sep-26
3	Speed Sign	11-May-26	CAO/Admin	Proceed with the ordering and installation of the budgeted speed sign.	In progress	
4						
5						
6						
7						

Current: June 8, 2026